

This section provides guidance for commercial buildings. If you own or lease space in a commercial building or a building that was originally designed for commercial use, these guidelines will assist you in determining the best methods for maintenance, repair, and new work on your building.



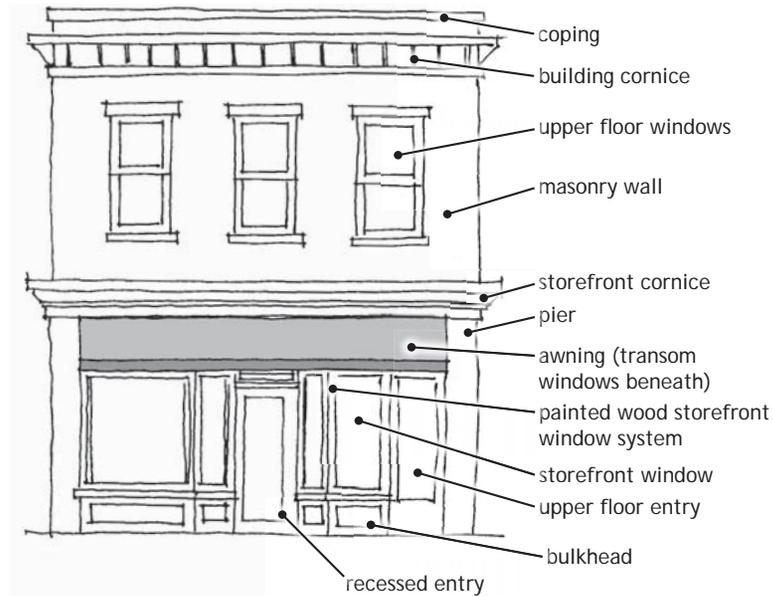
**COMMERCIAL
BUILDINGS**

COMMERCIAL BUILDINGS

STOREFRONTS AND ENTRANCES

Typically, the front façade of a commercial building is the most functional and decorative elevation of a historic building. The first floor contains the main business storefront and the primary entrance for customers. The upper floors of buildings may employ additional decoration and patterns in the windows, walls, or roof. A secondary entrance may provide access to upper floor spaces.

In downtown Southern Pines, most of the buildings are one and two-story masonry structures constructed at the turn of the century.



Parts of a Building

Defining Features for Storefronts and Entrances

The defining features of a storefront and primary entrance may include:

- Large display windows adjacent to or on either side of a recessed entrance;
- Entrance with decorative trim, surrounds or transom windows; doors may have architectural features such as carvings, unique window glazing patterns, or decorative hardware; recessed entries may have tiled entries;
- Awnings over the entrance or storefront windows to shield customers or goods from the sun and weather;
- Signs and lighting oriented and sized to attract pedestrian interest and safe access; and
- Surrounding walls containing features such as a cornice and wall or roof detailing;

General Design Principles

In addition to the recommended practices set forth in the following section, the principles below apply to all work on Commercial Buildings:

1. Identify and retain historic materials and features.
2. Maintain and protect historic building components and materials.
3. Repair and stabilize deteriorated historic building components.
4. Replace deteriorated components beyond repair with "in kind" or compatible materials that replicate or are similar to the design features.
5. Use approved construction methods that will not obscure, damage or remove contributing features or exterior walls.

Storefronts and Entrances - Recommended Practices

- ✓ Retain character-defining features of a storefront and entrances;
- ✓ Maintain original storefront openings and entrances;
- ✓ Retain entrance decorative trim, hardware and glazing features;
- ✓ Keep large display windows and transom windows. Storefront windows should be sized appropriately and in scale with a traditional historic storefront, and configured in the style and period of the building;
- ✓ Use wood doors with appropriately-scaled glazing;
- ✓ Install awnings to fit window or door openings and not cover any decorative details;
 - Use simple, rectangular non-illuminated awnings of a color and material that is compatible with the building and functional for the intended use;
 - Mount appropriately;
- ✓ Retain any surrounding decorative wall features, including cornices, pilasters, corbelled or patterned brick, etc.;
- ✓ Install utility connections underground or provide service from the side or rear;
- ✓ Use creative approaches to provide handicap access that does not distract from or destroy historic features (i.e., simple handrails, universal hardware, alternative access points, etc.); and
- ✓ Retain historic secondary entrances. These explain the use and evolution of a building. Locate secondary entrances to the side or rear and keep them simple and subordinate in design.

Storefronts and Entrances - Discouraged Practices

- × Painting masonry surfaces that have never been painted;
- × Using materials or designs that are inappropriately scaled or incompatible in size, scale, material, and color;
- × Using inappropriately scaled or illuminated signs or logos that detract from the storefront or cover over contributing features;
- × Attaching accessory structures that damage, obscure, or remove a decorative feature;
- × Using awnings that are an inappropriate contemporary material or backlit;
- × Creating an inappropriate or false historical appearance in new construction.

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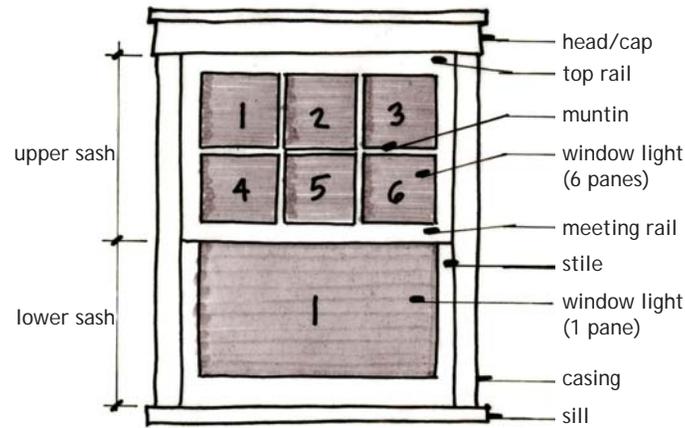
WALLS AND WINDOWS

The walls and windows of a building provide structural support, insulation from outside elements, and natural ventilation for interior spaces and uses. The integrity of this building envelope is important not only for structural purposes, but also for energy efficiency. In addition, certain wall elements and windows provide architectural interest to a commercial building. A decorative cornice at street level or at the roof line provides detailing and dimension to the building façade. A roof parapet may provide detailing and a functional visible screen for any roof equipment.

Defining Features of Walls and Windows

The defining features of walls and windows may include:

- Decorative brick detailing on walls or around windows or roof;
- Horizontal cornice or other architectural features and detailing at street level or at the roof line;
- Windows proportioned and sized to fit the opening and arranged in symmetrical patterns with distinctive glazing;
- Decorative gutters or downspouts.



Parts of a Window

Walls - Recommended Practices

- ✓ Retain original wall openings and features such as windows, cornices, roof parapets, and decorative masonry or wood trim;
- ✓ Restore missing cornice features and replicate design based on documentation;
- ✓ Repair masonry walls using appropriate materials;
 - Match material, bonding patterns and mortar color, type, texture, and profile;
 - Hand rake mortar joints to remove deteriorated mortar;
 - Use mortar mixture that is high in lime, rather than one high in Portland cement. The



Examples of decorative wall elements



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softer lime mortar allows expansion and contraction needed for older masonry;

- ✓ Ensure proper drainage and placement of gutters and downspouts; water can damage exterior building walls;
- ✓ Use side and rear elevations for secondary access, utility connections or other similar additions; these elevations offer some design flexibility over the front elevation;
- ✓ Place mechanical or utility equipment so that it is not visible from the street or the front façade. Ideally, place equipment at the rear of the building or on the roof;
- ✓ Setback any wall additions to distinguish and retain the original plane of the historic façade;
- ✓ Use the gentlest means possible when cleaning a building, employing low-pressure water, gentle detergents, and natural bristle brushes.

Walls - Discouraged Practices

- × Removing cornices or other decorative details;
- × Covering wood elements with vinyl or aluminum;
- × Painting previously unpainted masonry;
- × Applying stucco over brick;
- × Cleaning masonry walls using harsh chemicals or sandblasting.

Windows - Recommended Practices

- ✓ Maintain original window openings and configurations;
- ✓ Repair existing windows; wood framing, trim, sashes, mullions, and muntins are significant architectural parts of a window that add dimension;
- ✓ Retain upper story windows;
- ✓ Maintain original window glass if possible, as it has architectural qualities that contribute to both indoor and outdoor views;
- ✓ Use clear low-e glass to reduce excessive sunlight or heat gain;
- ✓ Use interior storm windows if energy efficiency is an issue.

Windows - Discouraged Practices

- × Replacing windows with contemporary modern windows that are inappropriate in terms of material, size, scale, detailing, etc.
- × Infilling windows, either ground or upper-story;
- × Installing tinted or reflective glass in windows;
- × Installing window air conditioning units on front facades;
- × Installing awnings on upper story windows (use interior blinds instead).

The color palette approved by the Southern Pines Historic District Commission includes selected colors (but not all) from the Benjamin Moore Historic Colors Collection:

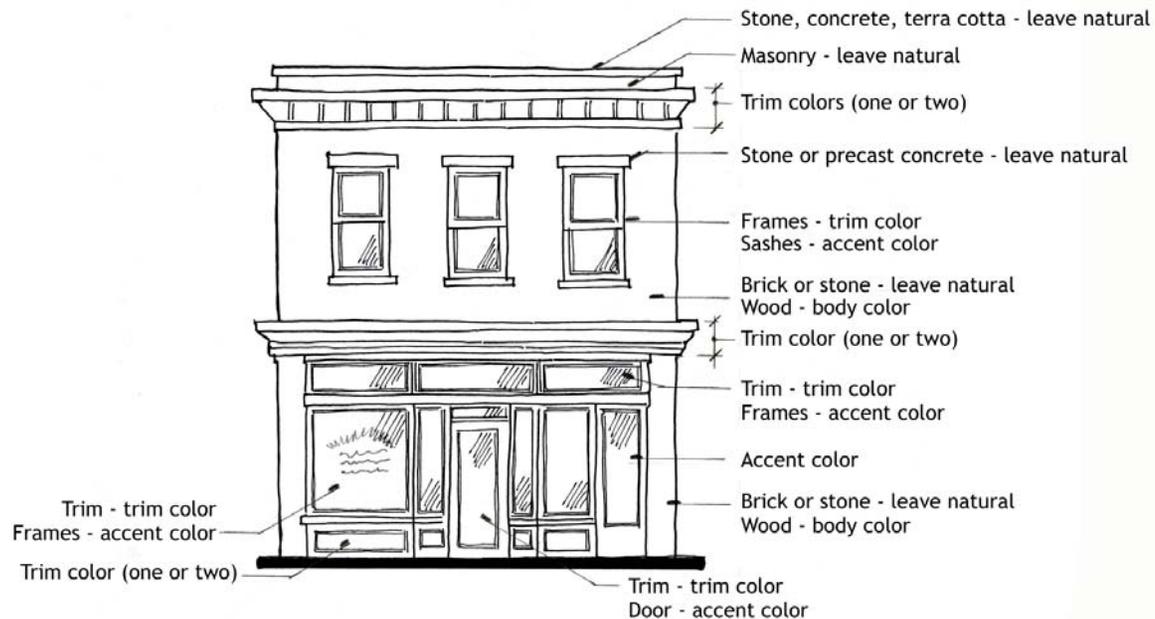
http://www.benjaminmoore.com/en-us/for-your-home/color-gallery#&ce_vm=2&ce_col=HC.

COMMERCIAL BUILDINGS

PAINTING AND CLEANING

The exterior appearance of a building increases its business appeal to customers and helps unify the street character of the district. In addition to choosing paint colors that work well together, where paint is applied can make a huge difference in how the building looks. For Southern Pines, the Historic District Commission has adopted an approved color palette based on historic colors.

In addition, the treatment of exterior building materials and components is very important in maintaining the visual and structural integrity. For wooden surfaces, proper primer and paint is essential! For masonry surfaces after 1910, it is critical that the material not be sealed or painted, as masonry needs to expand and contract to release moisture; sealed masonry can trap moisture inside the porous material. For softer masonry made prior to 1910, sealing may be required to prevent deterioration. Cleaning of both wood and masonry surfaces should be done only using gentle, approved methods that will not damage the materials. Never use harsh chemicals for cleaning or use sandblasting to clean a building! These practices damage the materials and cause increased deterioration over time.



Painting and Cleaning - Recommended Practices

- ✓ Choose one main color and up to two accent colors from the approved historic color palette;
 - Look at your building to determine areas for primary and secondary colors.
 - Usually, the main wall serves as the primary color; the storefront, and window and door trim provide areas for secondary, accent colors.
- ✓ Paint wood trim and features using approved colors that are coordinated and compliment the color of the primary wall;
- ✓ Keep the paint scheme simple; use caution in applying contrasting colors to trim, as too many colors will appear busy;
- ✓ Maintain color connectivity of the building wall to the ground; ensure that wall colors above the storefront continue and extend to the ground to anchor the building;
- ✓ Paint only wood or previously painted masonry surfaces;
- ✓ Remove deteriorated paint from wood surfaces by scraping or sanding by hand;
- ✓ Clean masonry surfaces only when heavily soiled using the gentlest method possible, such as low pressure water and detergents, using natural bristle brushes.

Painting and Cleaning - Discouraged Practices

- × Painting or sealing most unpainted masonry surfaces; masonry should only be painted when they are severely deteriorated or mismatched and it is the only option - use a breathable paint or sealant;
- × Using unapproved paint colors, too many colors, or colors that do not complement one another, the building, or the streetscape;
- × Sandblasting or other abrasive measures on masonry or wood surfaces.

Important Tip!

The Southern Pines Unified Development Ordinance includes regulations for the placement and size of signs. Be sure to check this important reference!



Appropriate signage locations for historic commercial buildings

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SIGNS AND LIGHTING

Signs are an important business identification and information tool. They must be crafted and installed carefully to serve customers and maintain compatibility with the historic building. Too many signs or signs that are too large will produce a confusing and cluttered appearance. In the historic district, it is especially important that a sign be appropriately designed and placed in a strategic location that enhances the building and the streetscape. When choosing a sign, think carefully about materials, size, colors, content, and placement. Also, be sure to check applicable zoning and building regulations.

Like signs, lighting is important for businesses, especially for those with evening hours. Lighting fixtures are accessory elements that should be consistent with the architectural style and features of the building.

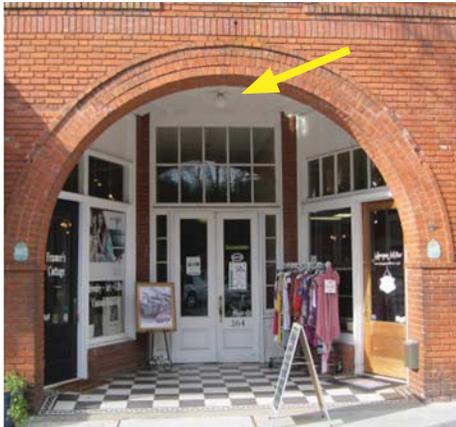
Signs – Recommended Practices

- ✓ Keep a sign simple, easy to read, pedestrian-oriented, and in scale with the building and elements; use a simple typeface such as a serif font that is traditional and easy to read;
- ✓ Use materials and colors that complement the primary building color and the overall streetscape;
- ✓ Place a wall sign on a designated sign board, if present, or place in a visible location for pedestrians such as near the storefront;
- ✓ Mount a sign so that it is at the pedestrian level and does not obscure or damage defining building features;
 - Mount projecting or hanging, perpendicular signs with required clearance from pedestrians;
 - Place sandwich board signs so that they do not interfere with pedestrians or with traffic sight lines at intersections;
- ✓ Use an awning valance as an opportunity for business signage. Place the sign on the valance, not the canopy;
- ✓ Limit the number of signs on windows and the building;
 - Choose one location for the main sign and perhaps another for a secondary sign;

- Use storefront windows to display goods; if an interior window sign is needed, use only 30-50% of the window area;
- ✓ Keep signs maintained; repair or replace faded, damaged, or non-functional signs;
- ✓ Retain any historic signs that may be on the building. These help tell the story of the building and provide cultural interest.
- ✓ Place temporary banners or flags near pedestrian entrances in a manner that does not impede access.

Lighting – Recommended Practices

- ✓ Retain historic lighting fixtures;
- ✓ Use lighting fixtures that are simple, traditional and consistent with the architectural style of the historic building;
- ✓ Direct lighting downward so that it does not spill over or produce glare.



Lighting placement should be compatible with the historic commercial context

Signs and Lighting - Discouraged Practices

- × Using signs that are out of scale with the building or oriented to vehicular traffic;
- × Using signs with bold colors and materials that are not compatible with the building or the surrounding streetscape;
- × Using signs that are designed as a box and lighted from the inside;
- × Using lighting that is not directed;
- × Using lighting that produces a glow.



various signage examples in Southern Pines

COMMERCIAL BUILDINGS

NEW BUILDINGS AND ADDITIONS

New construction in the historic district shows business investment and may provide opportunities for expanded services. It is important that new buildings and additions fit within the context of the built historic district (e.g., mass, scale, orientation setback, etc.) and complement existing building architecture and features (e.g., storefronts, entrances, windows, walls, roof lines, etc.). In addition, someone should be able to distinguish between the old and the new, and not be confused by a false historical appearance.

Defining Features of New Buildings and Additions

In planning for and designing new buildings and additions, consider the following information to ensure compatible new construction in the historic district:

- **Placement** – How will the new building or addition be placed on the property?
 - ✓ New buildings should be oriented on the site to fit with the established development patterns of surrounding buildings.
 - ✓ Additions to a historic building should be placed so that it does not destroy, damage, or cover over any character-defining feature of the historic building.
- **Mass and Scale** – How does the new building or addition relate in size and composition to the existing historic building or others on the street?
 - ✓ New buildings should reflect the mass and scale of existing buildings in the surrounding area.
 - ✓ Additions to a historic building should be minimal, subordinate, and proportional to the main building and not be overwhelming.
- **Compatible Features** – What are defining features of the existing historic building or those in the area? These help define compatible features for the new addition or building.
 - ✓ New buildings and additions should look like they were built today and not be a historic reproduction; similarity and compatibility in design are key to success.
 - ✓ New buildings and additions should reflect the general architectural features of existing buildings in the historic district.

New Buildings and Additions - Recommended Practices

- ✓ Site new buildings in line with setbacks of existing buildings;
- ✓ Maintain similar building height, proportions, and roof forms;
- ✓ Choose similar exterior materials;
- ✓ Integrate similar architectural features found in existing historic buildings, or consider a contemporary, compatible interpretation of those features;
- ✓ Design main building form, primary entrance, window glazing patterns, wall and roof lines, etc. to reflect existing historic building patterns;
- ✓ Incorporate pedestrian oriented and scaled features;
- ✓ Maintain primary function of first floor use as commercial;
- ✓ Choose colors that complement, and are compatible with adjacent historic buildings;
- ✓ Choose signs, awnings and lighting that are compatible with existing historic buildings;
- ✓ Locate additions at the rear of existing historic buildings when possible.



New infill buildings should be located in line with the setbacks of adjacent buildings, maintaining a similar height, proportion and roof form. Parking should be at the rear.

New Buildings and Additions - Discouraged Practices

- ✗ Replicating historic details in a new building or addition such that it is not distinguishable as new construction;
- ✗ Designing a new building or addition that is overwhelming, out of scale, or inconsistent with existing historic building patterns;
- ✗ Locating parking in front of a building.