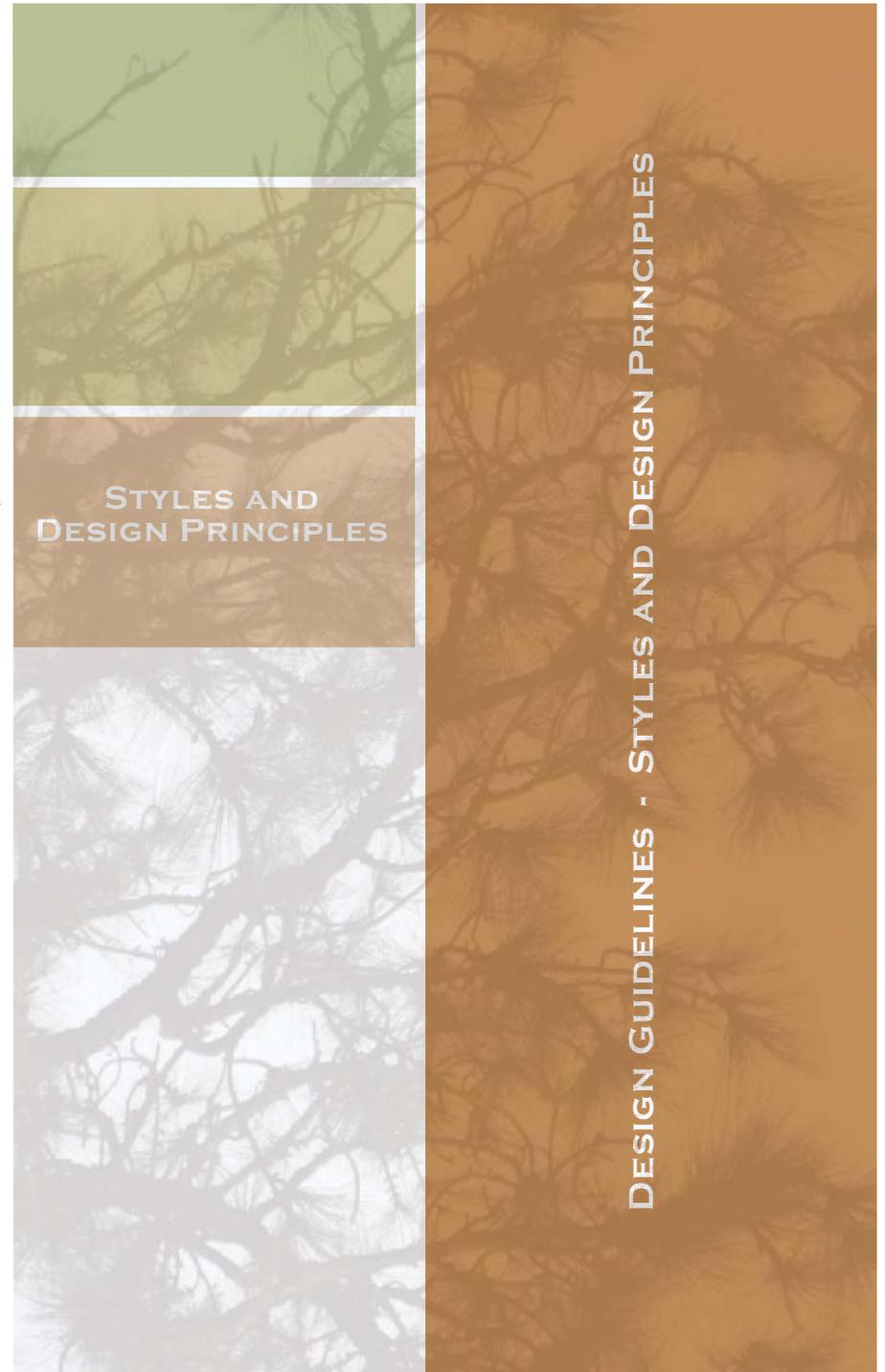


This section provides an overview of architectural styles present in Southern Pines and important general design principles.



DISTRICT ARCHITECTURAL STYLES AND CONTRIBUTING FEATURES

Southern Pines evolved from a resort community with a hotel, railroad depot, and attractive residential cottages at the turn of the century to a thriving assemblage of commercial and residential buildings by the 1920s. Today, Southern Pines hosts a diverse, eclectic mix of various architectural styles and building materials sited along gridded blocks, all connected by a distinctive historic landscape of native pines, magnolias, hollies and other plantings.

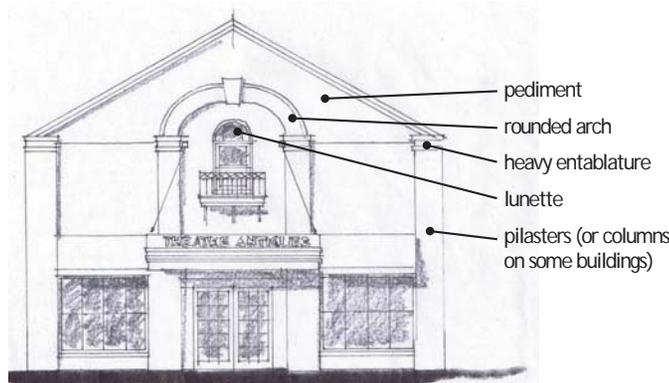
Styles visible in Southern Pines include Colonial Revival, Classical Revival, Queen Anne, Tudor Revival, Craftsman, and 19th-20th Century standard Commercial/Industrial, among others. These representative architectural styles are described in the following paragraphs and illustrated with local examples. It is important to note that all of these styles and the buildings in Southern Pines were influenced by the time in which they were constructed, as well as the individual preference of the designer or builder. In many cases, a signature feature of one style may be combined with another style to produce a building feature that blends across styles. Thus, for a property owner, it is important to understand the sometimes eclectic nature of a building's architecture, as well as how to look at a building to determine important character-defining features.

COMMON ARCHITECTURAL STYLES IN SOUTHERN PINES

Classical Revival

c. 1770 to c. 1850/1890s-1920s

The Classical Revival became the favored style of the federal government in the years after the Revolutionary War. The monumental style was inspired by the classical architecture of Greece and Rome, reflecting the republican ideals of the new government. The style became popular again in the late 1890s and early 1900s after the 1893 Columbian Exposition at the Chicago World's Fair introduced the Beaux Arts Movement. Classical Revival buildings in the historic district are subtle commercial interpretations of the style. The buildings are distinguished by their pedimented temple forms and symmetrical facades. Tall columns or pilasters that terminate at heavy entablatures are characteristic of the style, as are rounded arches with keystones. Lunettes, or semi-circular windows, are also common.



Did You Know?

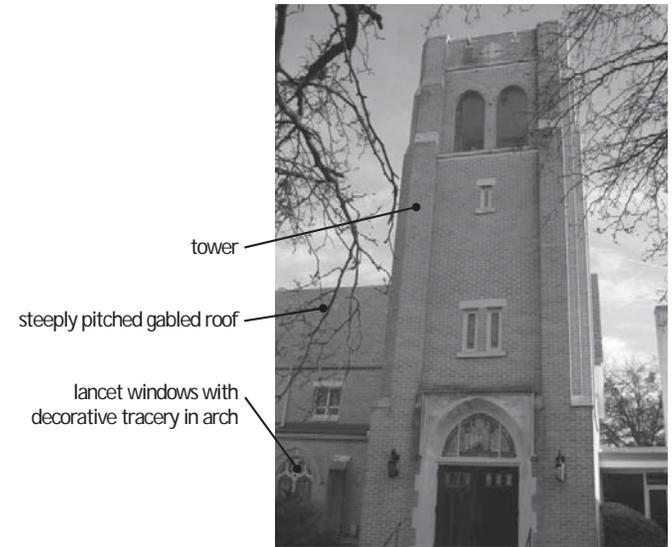
Alfred Yeomans was a landscape architect by training, but also practiced as an architect in Southern Pines from 1910-1954. A nephew of James Boyd, Yeomans laid out the Weymouth Heights Subdivision and designed several civic buildings and houses. Many of his buildings were informal English cottages that related to the local climate and living conditions.

**HISTORIC DISTRICT
DESIGN GUIDELINES**

Gothic Revival

c. 1840 to c. 1880

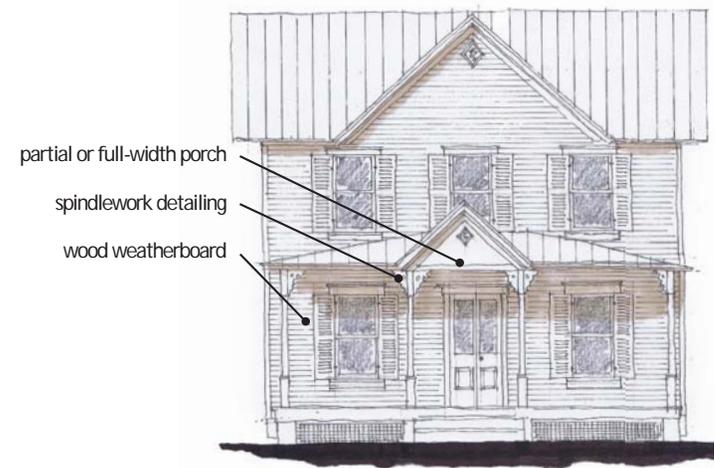
The Gothic Revival style came to the United States from England in the early nineteenth century. It was first seen in rural domestic architecture, but appeared in many churches and college campuses in the late nineteenth century. The defining characteristics of Gothic Revival-style churches are asymmetrical floor plans and steeply-pitched intersecting gabled roofs with parapets. The most common window type is the pointed arch, or lancet, which often incorporates decorative tracery to support the arch. One or more square towers or spires often rise above the building. An example of the Gothic Revival style in the historic district is the Community Congregational Church at 141 North Bennett Street.



Folk Victorian

c. 1870 to c. 1910

Inspired by the more complex and ornamented Queen Anne style of the same period, the Folk Victorian style spread to small cities and towns with the expansion of the railroads. The economical form of transportation made mass produced, machined wood available to be used for exterior trim or ornamentation. Generally, Folk Victorian-style buildings have square or L-shaped floor plans with side-gabled, front-gabled, intersecting-gabled or hipped roofs. The partial or full-width and wraparound porches typically feature spindlework detailing. Walls are commonly clad with wooden boards. Often, brackets are located beneath the overhanging eaves.



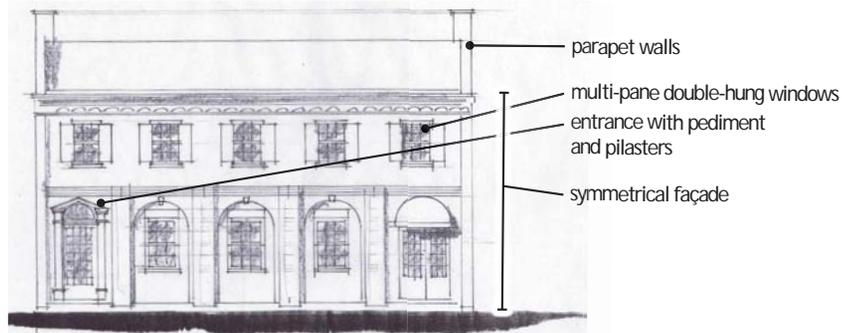
DESIGN GUIDELINES: ARCHITECTURAL STYLES AND DESIGN PRINCIPLES

Colonial Revival

c. 1880 to c. 1955

The Colonial Revival style is the most prevalent architectural style found in the Southern Pines Downtown Historic District. The simple style surfaced as a reaction against the elaborate styles of the Victorian period and was popularized by the nostalgia for colonial architecture evoked by the United States Centennial Exposition in 1876 and the restoration of Colonial

Williamsburg in the 1920s. Colonial Revival-style buildings in the historic district are distinguished by their rectangular forms, symmetrical façades, and gabled or hipped roofs. Some commercial buildings of this style have parapet walls that project above their roof lines. The front entrances are often accentuated by decorative pediments, supported by columns or pilasters. The windows are typically double-hung sashes with multi-pane glazing. Some high-style examples feature shutters, flat lintels and sills, windows in blind arches, and decorative cornices. Many of the Embury and Yeomans buildings in the town are excellent examples of the Colonial Revival style.



Tudor Revival

c. 1890 to c. 1940

The Tudor Revival style stems from English building traditions and became a popular residential style in American suburbs in the early twentieth century. The dominant features of the Tudor Revival style are steeply-pitched, cross-gabled roofs and massive brick or stone chimneys. Many examples of the style feature half-timbering and tall narrow casement windows with multi-pane glazing. The buildings are generally clad in brick, stucco, stone, wood or a combination of these materials. While there are no examples of this style in the Downtown Historic District, there are examples of this prevalent style in the surrounding residential neighborhoods.

Did You Know?

Aymar Embury II was influenced by traditional New England architecture and intrigued by its interesting application in rural North Carolina (as opposed to the early architecture of Virginia or South Carolina). He was known in the Northeast for his country house work. Embury's Colonial Revival designs in Southern Pines (1912-1940) are said to be one of the best collections of his work in North Carolina.

**HISTORIC DISTRICT
DESIGN GUIDELINES**

DESIGN GUIDELINES: ARCHITECTURAL STYLES AND DESIGN PRINCIPLES

Did You Know?

The earliest buildings in Southern Pines were simple frame buildings.

By the turn of the century, architectural styles grew to include Queen Anne (depot) and Classical Revival, followed by Craftsman cottages and Colonial Revival.

HISTORIC DISTRICT DESIGN GUIDELINES

Craftsman

c. 1905 to c. 1930

The Craftsman style was influenced by the English Arts and Crafts Movement of the 1800s. The style departed from the ornate styles of the Victorian period and encouraged the use of natural materials, craftsmanship, and simplicity. The Craftsman-style buildings in the historic district are predominantly residential bungalows.

The Craftsman Bungalow was made popular by American architects Charles Sumner Greene and Henry Mather Greene in the early twentieth century after widely publishing their plans in national magazines. Typically, the Craftsman Bungalows in the district are 1½ stories with low-pitched gabled or hipped roofs with overhanging eaves and a large front roof dormer. They often feature front porches supported by brick piers or tapered square wood columns on brick piers. Other common characteristics include exposed rafter tails, the use of shingles or different siding on the dormers and gable ends, multi-light over single-light windows, and multi-light doors and sidelights.



COMMON COMMERCIAL FORMS

Two-Part Commercial Block

c. 1850 to c. 1950

The Two-Part Commercial Block is the most common commercial form in the historic district and in communities across the nation. These buildings feature commercial storefronts on the ground level and one or more stories above. Large display windows dominate the storefront to showcase goods and to allow light

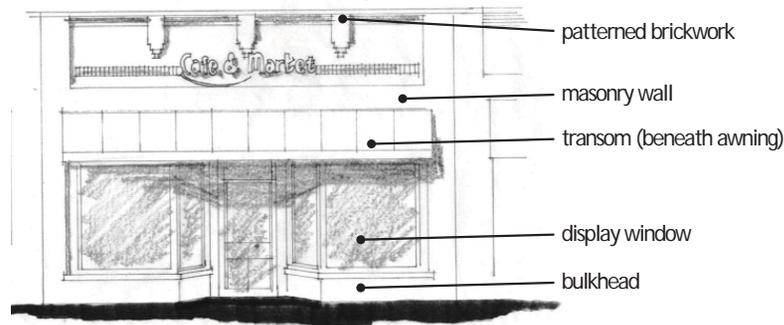


DESIGN GUIDELINES: ARCHITECTURAL STYLES AND DESIGN PRINCIPLES

into the interior. The display windows are bounded on each side by masonry piers and are commonly bordered by transom windows above and by bulkheads below. Decorative cornices often conceal the structural beams that support the walls above. The upper stories usually house the private functions of these buildings. Therefore, the proportion of wall-to-window is much higher on the upper stories. The windows are regularly spaced in horizontal rows and sometimes feature decorative window hoods, which can vary in appearance depending on the style of the building. Accentuated cornices made of wood, brick, or metal generally crown these commercial buildings. Later examples, dating from the mid-1920s to 1950s, often use patterned brickwork to accent window openings and roof lines rather than applied ornamentation. A secondary entrance is typically located on the façade to provide access to the upper levels.

One-Part Commercial Block c. 1850 to c. 1950

The One-Part Commercial Block is the same as the first level of the Two-Part Commercial Block. These simple commercial buildings are predominantly of masonry construction. Ornamentation is generally limited to a pedimented entry flanked by windows. While some of these commercial buildings are smaller in scale and use stylistic elements more residential in nature, such as dormers, pedimented entries or bay windows from the Colonial-revival style, other examples are simple in form and detailing, relying on stepped parapets and patterned brickwork for ornamentation.



Did You Know?

The earliest residences in Southern Pines were built north of the railroad tracks on Bennett Street.

Much of downtown dates from 1910-1940. Downtown was rebuilt in first quarter of the 20th Century. Brick buildings replaced wood frame buildings.

A catastrophic fire in 1921 destroyed a large portion of the 100 block of NW Broad Street.

Did You Know?

For Further Information on how to look at a building:

17 PRESERVATION BRIEFS

Architectural Character: Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving Their Character

Lee H. Nelson, FAIA

U.S. Department of the Interior
National Park Service
Heritage Preservation Services



The Secretary of the Interior's "Standards for Historic Preservation Projects" embody two important goals: 1) the preservation of historic resources and 2) the preservation of a building's distinguishing character. From all building's vantage, with its own identity and its own distinctive character, character-defining elements include the overall shape of the building, its materials, ornamentation, decorative details, interior spaces and features, as well as the various aspects of its site and environment.

The purpose of this Brief is to help the owner or the architect identify those features or elements that give the building its visual character and that should be taken into account in order to preserve them to the maximum extent possible.

There are different ways of understanding old buildings. They can be seen as examples of specific building types, which are usually related to a building's function, such as schools, courthouses or churches. Buildings can be studied as examples of using specific materials such as concrete, wood, steel, or limestone. They can also be considered as examples of a historical period, which is often related to a specific architectural style, such as Gothic Revival, International, or Art Deco apartment buildings.

There are many other facets of a historic building besides its functional type, its materials or construction or style that contribute to its historic qualities or significance. Some of these qualities are feelings conveyed by the sense of time and place or its buildings associated with events or people. A complete understanding of any property may require documentary research about its style, construction, function, its furnishings or contents, knowledge about the original builder, owners, and later occupants, and knowledge about the evolutionary history of the building. Even though buildings may be of historic, rather than architectural significance, it is their tangible elements that embody its significance for associations with specific events or persons and it is these tangible elements both on the exterior and interior that should be preserved.

Therefore, the approach taken in this Brief is limited to identifying those visual and tangible aspects of the historic building. While this may aid in the planning process for carrying out any ongoing or new use or restoration of the building, this approach is not a substitute for developing an understanding about the significance of an historic building and the context in which it is located.

If the various materials, features and spaces that give a building its visual character are not recognized and preserved, then essential aspects of its character may be damaged in the process of change.

A building's character can be irreversibly damaged or changed in many ways, for example, by inappropriate repainting of the facades, by removal of a distinctive side porch, by changes to the window work, by changes to the setting around the building, by changes to the major room arrangements, by the introduction of an atrium, by painting previously unpainted woodwork, etc.

A Three-Step Process to Identify a Building's Visual Character

This Brief outlines a three-step approach that can be used by anyone to identify those materials, features and spaces that contribute to the visual character of a building. This approach involves first considering the building from afar to understand its overall setting and architectural context; then moving up very close to appreciate its materials and the craftsmanship and surface finishes evident in these materials; and then going into and through the building to perceive those spaces, rooms and details that comprise its interior visual character.

Step 1: Identify the Overall Visual Aspects

Identifying the overall visual character of a building is nothing more than looking at its distinguishing physical aspects without focusing on its details. The major contributors to a building's overall character are embodied

THE BASICS: HOW TO LOOK AT A BUILDING

UNDERSTANDING CHARACTER-DEFINING FEATURES

Every historic building has its own collection of distinctive architectural and site features that make it unique and contribute to its visual quality and historic integrity. When considering improvements to a historic building, it is important to identify these "character-defining features" so that they can be preserved and treated appropriately. These features may include building materials, masonry detailing, door and window patterns, craftsman work details, decorative cornices or trim, porch and roof elements, interior spaces, significant landscape features or plantings, and other items.

Here are a few tips for how to understand and look at a historic building:

- **Step 1: Big-Picture Study** - From a distance look at the building shape, openings, roof and roof features, projections, trim and secondary features, materials, relationship to other buildings, and setting
- **Step 2: Close Study** - Look more closely at the exterior materials, crafting details, and patterns or arrangements
- **Step 3: Interior Study** - Look at the arrangement of the interior spaces, interior features, and the finishes and materials

Using these recommended steps, use the following illustrations to help you identify the character-defining features of your building.

<http://www.nps.gov/hps/tps/briefs/brief17.htm>

**HISTORIC DISTRICT
DESIGN GUIDELINES**

DESIGN GUIDELINES: ARCHITECTURAL STYLES AND DESIGN PRINCIPLES

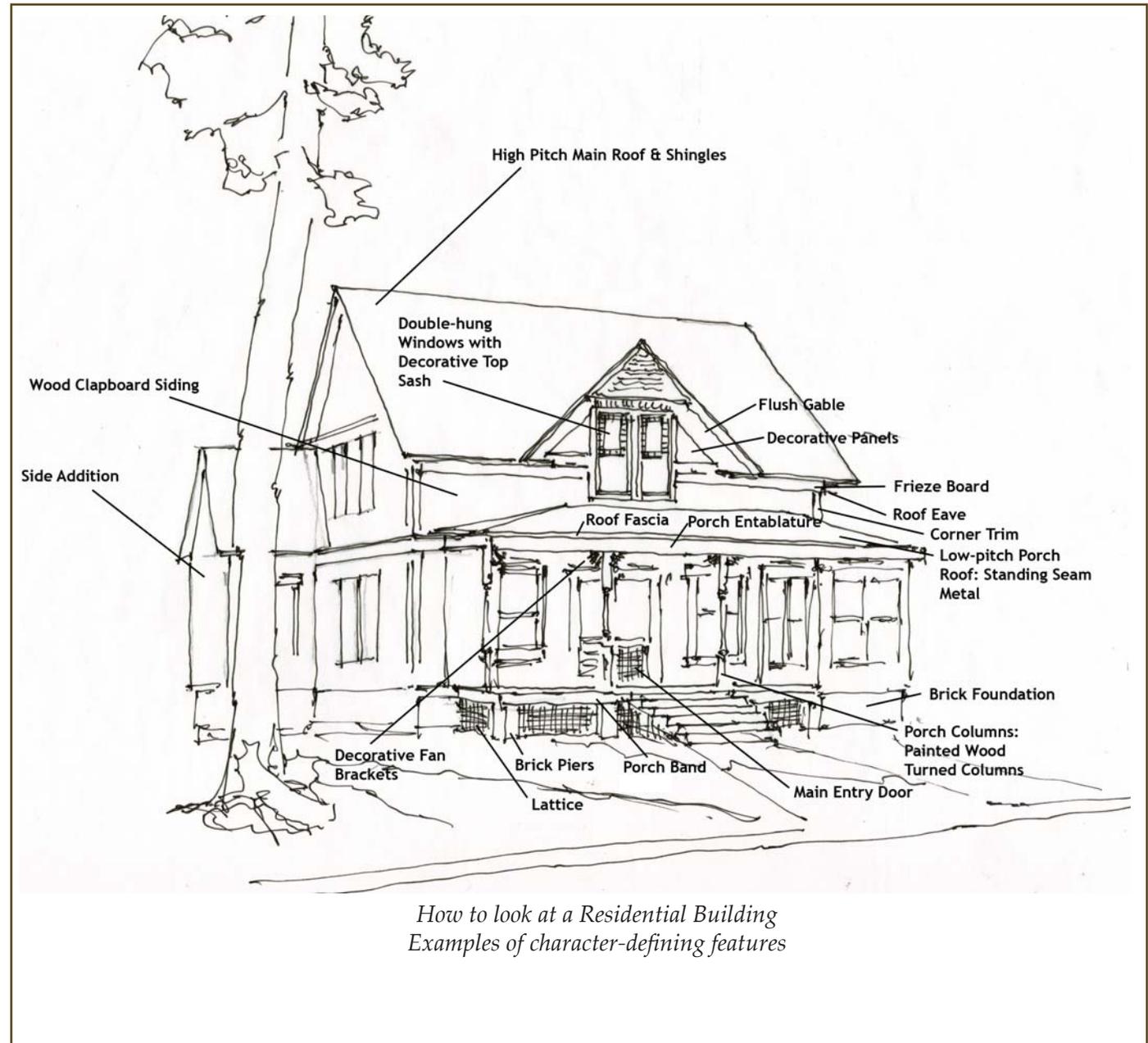


*How to look at a Commercial Building
Examples of character-defining features*

The architecture of Southern Pines commercial buildings is eclectic, but they share a common degree of attention to architectural detailing important to the setting and feel of the downtown.

DESIGN GUIDELINES: ARCHITECTURAL STYLES AND DESIGN PRINCIPLES

The general terms and features shown here are further defined in the glossary of architectural terms in the appendix.



*How to look at a Residential Building
Examples of character-defining features*

HOW TO CHOOSE A BUILDING FOR A COMPATIBLE USE

When considering using a historic building, think carefully about the following items, as they will influence your decisions:

1. **Choose the most appropriate buildings for an intended use** and use the best methods for construction that will maintain the contributing and character-defining features.
2. **Understand the building history, significance, evolution, and contribution** to the district.
3. **Evaluate the building physical condition.**
4. **Consider what modifications are necessary** for using the building. Buildings were constructed for specific uses; they may not be suitable for every purpose. Make every effort to select a compatible use for a property that requires minimal alteration of the building or site.
5. **Determine mandatory code requirements** that will apply (building, zoning, accessibility, etc.). These must be carefully studied from a design standpoint and approached with sensitivity.

Many of the buildings in downtown Southern Pines reflect design features for residential buildings, yet they are used for commercial purposes. The Sadleson Pharmacy Building (1892, W Pennsylvania Avenue) displays residential design features; but historically, it has been used as a commercial building. Other residential properties now used as commercial but initially built as residences include buildings at 150 W Vermont Avenue and the town administration office at 125 SE Broad Street (below).



**HISTORIC DISTRICT
DESIGN GUIDELINES**

Important Tip!

When leasing or purchasing space within a historic building, choose a space that best suits your needs and that will retain its historic character and integrity.

HOW TO APPLY THE DESIGN GUIDELINES

When applying the design guidelines presented in the following sections, first consider these important points:

1. **Understand how to “look at” the design features** of a building. Downtown Southern Pines has an eclectic mix of building styles and forms.
2. **Understand how the design features contribute** to the historic character of the building. Look for patterns, detailing, and individual artisanship that define the building.
3. **Appreciate the evolution** of a building over time. Time tells a story. Many of the buildings have evolved over time in both use and appearance. Some changes to a building are historic, even if they are not original, and are significant to the building.
4. **Understand the setting and context of a particular building.** Think of the building as one piece of a puzzle that fits carefully both physically and visually with adjacent pieces.
5. **Understand the influence and significance of the public buildings and spaces.** The civic buildings and amenities of Southern Pines connect and define the community’s sense of place. Public structures and spaces have historically set the design standard for Southern Pines and will continue to influence the prosperity and integrity of the town.

GENERAL DESIGN PRINCIPLES FOR HISTORIC BUILDINGS

The following General Design Principles apply to both Commercial and Residential Buildings. They represent the fundamental guiding principles for working on buildings in the historic district.

When working on any historic building, apply the following General Design Principles:

1. **Identify and retain** historic materials and features.
2. **Maintain and protect** historic building components and materials.
3. **Repair and stabilize** deteriorated historic building components.
 - Repair parts before replacing.
 - Use materials of the same type and design, including dimensions, mass, scale, orientation, color, detailing, texture, etc.
 - Consolidate, conserve, and recycle materials for reuse.
4. **Replace deteriorated components beyond repair with “in kind” or compatible materials** that replicate or are similar to the design features.
 - Use materials of the same type and design, including dimensions, mass, scale, orientation, color, detailing, texture, etc.
 - Use substitute materials only if they convey the same or a comparable visual appearance and design.
 - Replace any missing historic features with appropriate features documented by photographs, physical evidence, or historic precedence. Contemporary approaches may be an alternative if they are in context with the district and compatible with the existing building features in size, scale, material, and color.
5. **Use construction methods that will not obscure, damage, or remove contributing features or exterior walls.**
 - Use approved painting and cleaning methods.
 - Install accessory elements in a manner that will not damage or obscure character-defining features.
 - Construct additions that will not destroy or remove character-defining features.

Preservation focuses on the maintenance and repair of existing historic materials and retention of a property's form as it has evolved over time.

Rehabilitation acknowledges the need to alter or add to a historic property to meet continuing or changing uses while retaining the property's historic character.

Restoration depicts a property at a particular period of time in its history, while removing evidence of other periods.

Reconstruction re-creates vanished or non-surviving portions of a property for interpretive purposes.

Source: Secretary of the Interior Standards for Preservation and Guidelines for Preserving Historic Buildings, National Park Service. For more information http://www.nps.gov/hps/tps/standguide/overview/using_standguide.htm

GENERAL MAINTENANCE TIPS FOR HISTORIC BUILDINGS

When owning or using any historic building, maintain the building by doing the following:

1. **Inspect exterior features** on an annual basis. This is especially important for roofs, chimneys, gutters and downspouts, foundations, and windows. Look for any deterioration or rotting of materials, improper drainage, peeling paint, damaged mortar and masonry, etc.
2. **Ensure that roof, gutters and downspouts work properly** and drain water away from walls and foundations. Water infiltration can be very destructive!
3. **Protect masonry surfaces from deterioration.** Do not apply chemical sealers or cleaners, or paint to unpainted masonry! Masonry is absorbent, and expands and contracts to release moisture; applying sealants, chemicals or paint interferes with this natural process and traps moisture, eventually causing damage to the masonry.
4. **Paint wood surfaces** on a regular basis. Maintaining a protective surface will preserve the wood. Do not use vinyl siding as an alternative to painted wood surfaces; it will trap moisture in the walls and cause deterioration of the structure.
5. **Caulk windows and inspect window sashes regularly** for deterioration. Maintain window glazing, frames, and hardware. Use interior storm windows for added energy efficiency. Properly maintained original windows can be more energy efficient and cost effective than new replacement windows.